



# Langebaan Country Estate

## ARCHITECTURAL GUIDELINES FOR HOME OWNERS

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Langebaan Country Estate Joint Venture

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## 1. INTRODUCTION

Langebaan Country Estate is a unique golf and residential development in the magnificent 'West Coast' surroundings. This demands a 'design with nature' approach from all who value and cherish the privilege of owning a piece of this real estate.

The Consultants have been appointed by the Developers, to develop Architectural Guidelines and to guide the project aesthetics. Every building and/or structure to be erected on the Estate shall be done in accordance with the Architectural Guidelines and shall be designed by a Developer appointed architect from the Panel of Approved Architects (PAA).

This document is to be read in conjunction with the Langebaan Country Estate Landscape Guideline Document (LCE LGD).

No alterations to approved buildings shall be effected without plans prepared by a PAA architect, who shall at all times balance the project's and individual owner's requirements. Such plans must be approved by the Aesthetics and Environmental Committee (AEC).

These Architectural Guidelines allow for individuality within a specific project character, which is to be achieved in harmony with the environment and are intended to inform owners of the controls to be applied to the development as a whole.

The spirit of the Architectural Guidelines is not intended to restrict, but to enhance the coherence of the development and serve as a protective mechanism. In this regard, the impact of any one residential unit on its immediate surroundings and the overall project fabric will be of primary concern in the AEC's assessment of its individual merits and compliance with these guidelines.

The statutory setbacks, development densities and adjacent golf course ensure maintenance of the dominant natural landscape integrity. These requirements are in addition to the Local Authority's Town Planning and Building Regulations.

The Developer, in conjunction with the AEC, reserves the right to make any additions or alterations to these guidelines which, in their opinion, are necessary to create and guide the development in the architectural style and character that is envisaged for the entire development.

Architects are to give due and timeous consideration to all aspects of design that will lead to energy efficiency and conservation in the preparation of their plans.

### 1.1 Energy conservation and sustainability

- 1.1.1 Solar heating of hot water is encouraged. This should be by means of solar collector panels mounted flat on North or Northwest facing roof slopes or out of sight on flat slabs at the requisite angle to the horizontal. Early consideration of solar panels will facilitate their incorporation and integration so as to minimise the visual impact from surrounding properties.
- 1.1.2 No external exposed Hot water Cylinders (HWC's) will be permitted. HWC's are to be mounted in roof spaces as close as possible to draw off points. Where possible the rationalisation of the reticulation should allow the switching off of a supply to a sector if it is infrequently used.



- 1.1.3 The installation of a time switch or similar device on the HWC electrical supply is recommended to conserve energy.
- 1.1.4 Geyser blankets of a proprietary brand and the lagging of hot water supply pipes are mandatory.
- 1.1.5 Energy efficient light bulbs (CFL's) are to be used wherever possible.
- 1.1.6 Water consumption is to be reduced by the introduction of dual flush cisterns and low flow shower heads.
- 1.1.7 The installation of a grey water collection and treatment system such as biolytic filtration is encouraged for garden irrigation.

## 2. ARCHITECTURAL GUIDELINES

The following aspects must be considered in the design and construction of houses:

### 2.1 Street articulation and site planning

An architectural and fairway facade will be created to avoid a wall of buildings. This will enhance views and create more private areas around houses. Factors such as view, privacy and orientation for sufficient sunlight will be considered when placing structures on stands. Dominant wind and rain directions will be taken into account when placing and orientating houses. Consideration will be given to privacy when placing yard and entertainment areas. Suitable screening will be provided to protect external private areas from neighbouring properties.

### 2.2 Building lines

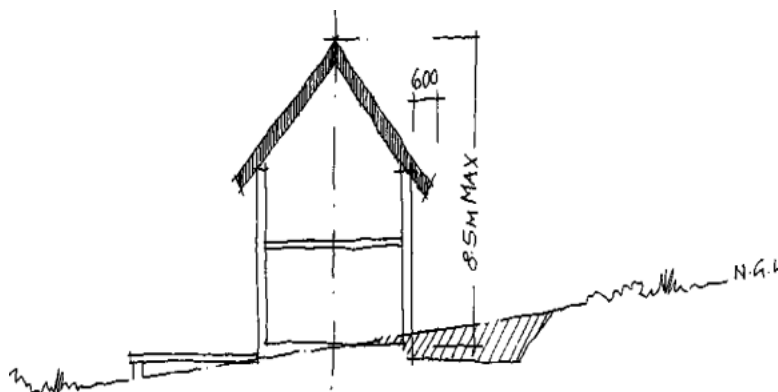
- |                                    |   |
|------------------------------------|---|
| Street:                            | <ul style="list-style-type: none"><li>• 3m for dwelling units</li><li>• 1.5m for garages if doors do not open onto road and additional off street parking is provided</li></ul>               |
| Lateral, or side boundaries:       | <ul style="list-style-type: none"><li>• 4.5m aggregate &amp; a minimum of 1.5m to side for main building</li><li>• Zero building line for outbuildings with no overlooking features</li></ul> |
| Rear onto fairways and park areas: | <ul style="list-style-type: none"><li>• 3 meters</li></ul>  |

### 2.3 Building height

#### 2.3.1 Double storey stands

The maximum building height is 8.5m for double storey buildings, measured from the average natural ground level taken over the length of a specific building elevation to the height of the roof ridge or top of parapet measured vertically above this point.

In an effort to break roof lines and reduce the total length of shear double storey walls, the 1<sup>st</sup> floor area excluding uncovered decks, should not exceed 80% of the total ground floor area of the house, where such area on the ground floor will include covered but not open patios.

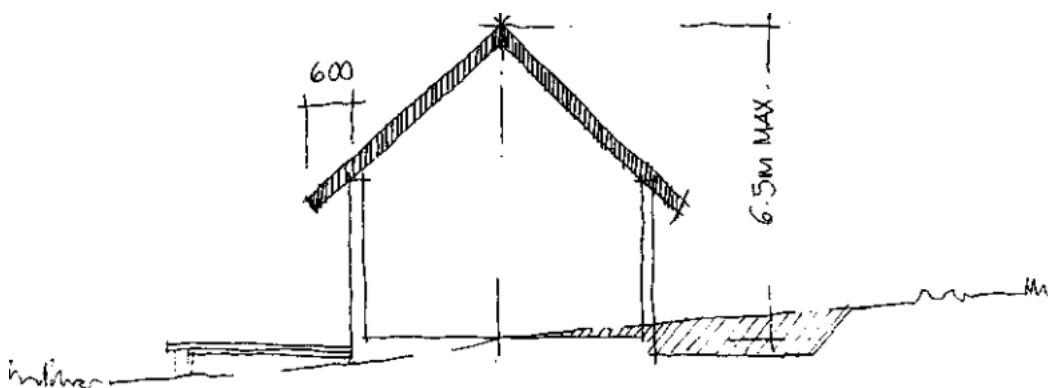


### 2.3.2 Single storey stands

The standard maximum height for single residential buildings will be 4.8m measured from the average natural ground level taken over the length of a specific building elevation to the height of the roof ridge or top of parapet measured vertically above this point.

Loft space comprising no more than approximately 30% of the total floor area may however be created by the utilisation of an extent of roof space on such erven where the maximum height is allowed as 6.5m when measured as per above.

Neither open patios on the ground floor nor open decks at 1<sup>st</sup> floor will contribute in this calculation. Vertical walls over 2 storeys are to be avoided on the road side if possible to enhance the loft appearance as compared with standard double storey approach. The location and alignment of loft space must take into account the fact that single storey erven were designated as such to maintain and not hinder view lines from surrounding properties and primarily properties behind or above such stands.



### 2.4 Building areas and coverage / site usage

Minimum building area:

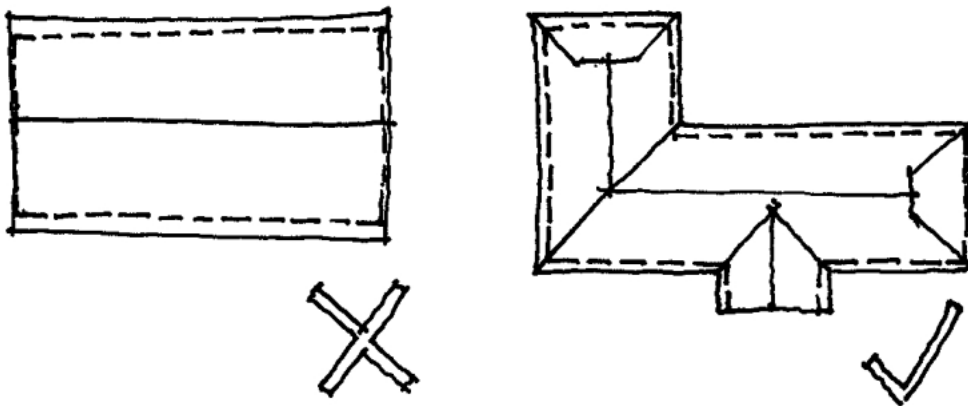
- 175m<sup>2</sup> minimum, including garages, covered patios and outbuildings



- Coverage percentages of areas:
- House footprint: maximum 50%
  - Hard-landscaping: maximum 20%
  - Lawn area: maximum 10%
  - Natural vegetation: minimum 20%

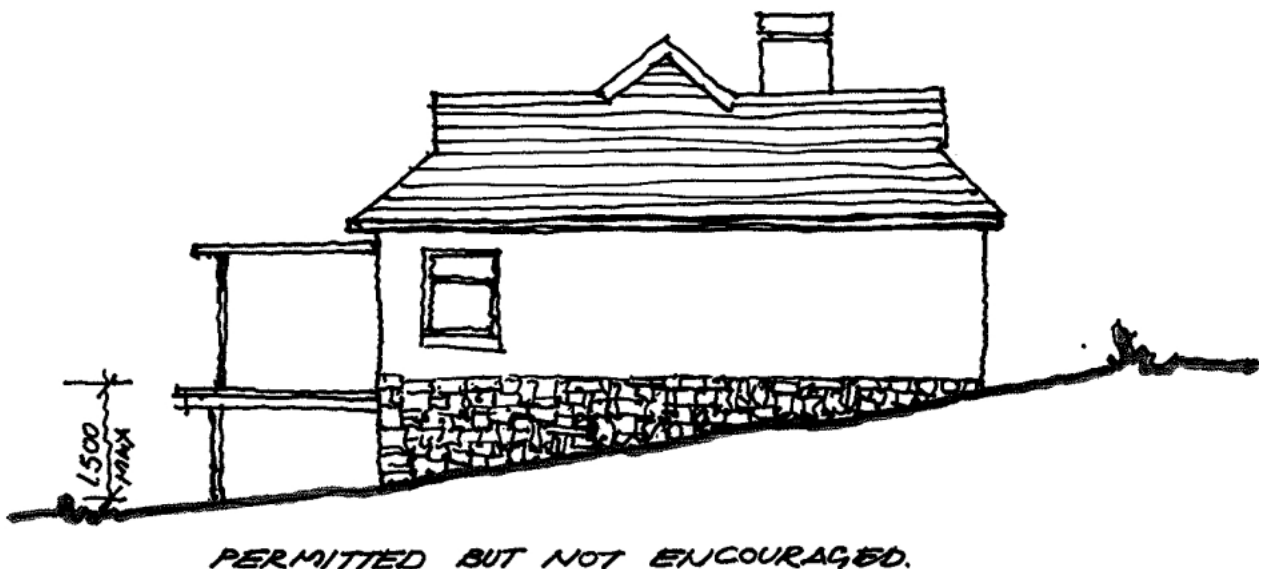
## 2.5 Plan form (not applicable to group housing scheme)

Fragmented plan forms will enhance view and orientation opportunities whilst giving visual form and scale. The general massing of houses and their roof forms should at all times endeavour to respect the effect on views from neighbouring stands.



## 2.6 Levels

The floor levels of houses should follow the shape of the landscape to avoid excessively high foundations. Buildings will 'sit in the landscape' and not 'on top of the landscape'. The forming of platforms is not encouraged and no patio or deck should be higher than 1.5m above the natural ground adjacent to such deck / patio.





## 2.7 Building structures

### 2.7.1 External walls

Large expanses of unbroken external walling should be avoided. In utilizing a fragmented plan, care will be taken with regard to scale and proportion of every facade. Wall planes to be broken up by the creation of textured and plane facades.

#### *Permissible materials:*

Plastered and painted walls will make up the bulk of any structure. Stone work, fibre cement or timber building planks may be used in combination with the plaster and painted walls as accents / features, but not on their own. Textural changes in wall surfaces are to be encouraged.

#### *Permissible colours:*

All exterior paint will be a minimum grade of 240 line pure acrylic or equal on suitable filler and binding undercoats. All finished colours are to be natural earth tone colours as approved by the AEC. Natural sand stone or simulated sand stone, both as approved by the AEC, may be used in limited applications such as plinths to a maximum height of 1.5m above natural ground level, or accent wall panels or vertical elements such as chimneys.

#### *Unacceptable materials:*

Timber log houses.  
Cement and clay face bricks.  
Precast concrete garages and outbuildings.

### 2.7.2 Windows

Windows will be carefully positioned in every facade to obtain the best possible proportion and room utilisation. It is encouraged that larger windows have at least a 2.4m deep overhang of either pergola or solid roof (which is preferred). Accent windows are permitted to enhance particular views but in the end, walls should be the dominant component of the facade.

Windows and doors should complement each other in design and proportion.

Where large windows in double storey units are arranged vertically above each other on ground and 1<sup>st</sup> floors a break by roof overhang or similar treatment is encouraged to reduce the 2 dimensional flatness of the facade.

No reflective glass may be used in any glazed opening and all drapes or blinds are to be neutral in colour as viewed from outside.

#### *Permissible materials:*

Timber (varnished or painted), UPVC.  
Aluminium (epoxy or anodized).

#### *Permissible colours:*

Natural wood stained or painted to AEC approval.  
Aluminium (epoxy or powder coated) in bronze, charcoal or white as approved by the AEC.



*Unacceptable materials:*

Steel window frames.  
Pre-cast concrete window surrounds.

### 2.7.3 Doors

#### External doors

External toilet, kitchen and storeroom doors must be screened from the street, golf course and neighbouring properties.

*Permissible materials:*

All timber or timber and glass (varnished or painted).  
Aluminium and glass (epoxy or anodized).

*Permissible colours:*

Natural wood stained or painted to AEC approval.  
Aluminium (epoxy or powder coated) in bronze, charcoal or white as approved by the AEC.

*Unacceptable materials:*

Untreated and unpainted galvanised steel.

#### Garage doors

*Permissible materials:*

Natural wood.  
Aluminium, zinc aluminium or galvanised steel, epoxy or powder coated.

*Permissible colours:*

Natural wood stained or painted to AEC approval.  
Aluminium, zinc aluminium or galvanised steel, epoxy or powder coated - bronze, charcoal or white as approved by the AEC.

*Permissible patterns:*

Horizontal, vertical, diagonal or chevron boarded planking pattern.

*Unacceptable materials:*

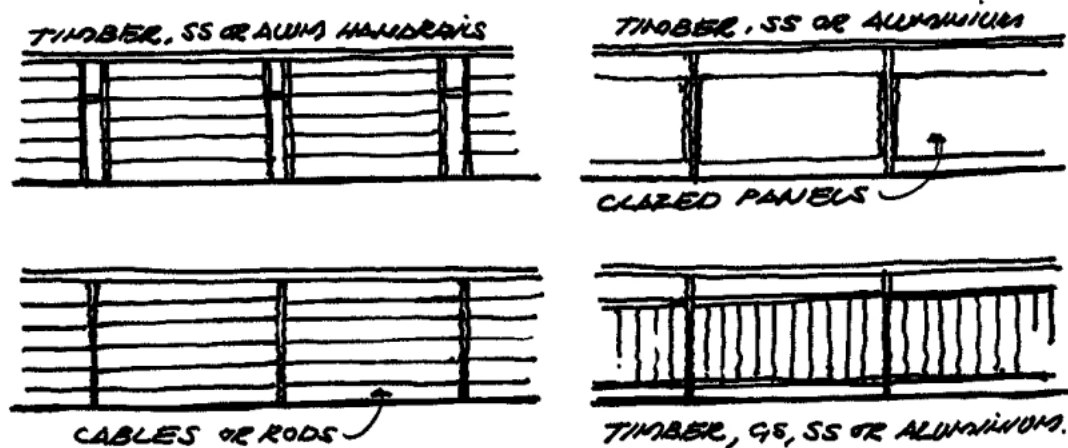
Untreated and unpainted galvanised steel.  
Fibre glass is not encouraged.

### 2.7.4 Balconies and terraces

The use of timber decks is encouraged on stands where the rising wall to the lower side of a ground floor deck is in the 1 - 1.5m range above natural ground level. This will reduce high foundation retaining walls and have less impact on the landscape.

*Permissible materials and designs:*

Balustrades will be simple decorative designs in timber, galvanised steel, stainless steel or aluminium all with or without glazing (see diagram).



The height of ground floor level verandas or decks will not exceed 1.5m above natural ground level.

*Unacceptable materials and designs:*

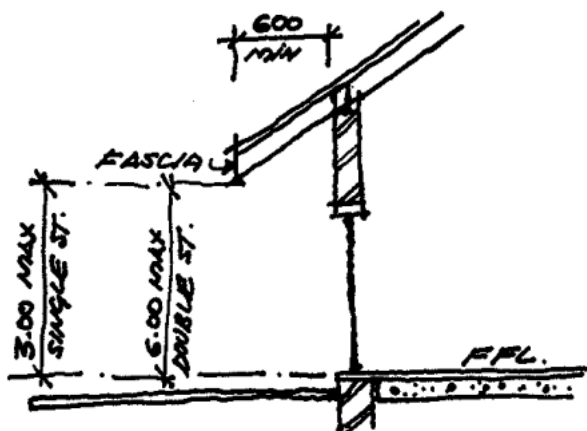
'Victorian' type balustrading in any material.

Pre-cast concrete balustrades.

Round timber poles.

#### 2.7.5 Roofs

Roofs with pitch ranging from 17.5 to 45 degrees may be used bearing in mind the height restrictions. Fascia and gutter lines will be allowed at maximum 6m measured from ground floor to underside of fascia for double storey units and 3m for single storey units. Flat roofs may be utilised only to link roofs where necessary, or for sundecks, or as a feature, but must never become the dominant form of the roof.



Roofs on garages and outbuildings may be 'flat' with the provision that they are concealed behind a minimal parapet wall on three sides to blend in with the overall architecture. Such roofing to be painted out the same as wall colour.



Gable ended roof forms either mono pitch or double pitched are not encouraged as they limit the degree to which properties behind are able to view between and over buildings in front.

The extent and alignment of such gable ends and mono pitches will be evaluated on their overall impact on surrounding units in each and every case.

Headwall parapets are not encouraged and barge roll tiles should be used for mono pitches.

Roof eaves will not be less than 600mm for pitched roofs.

*Permissible materials:*

Concrete or clay tiles - Coverland profile and colour as decided by AEC in each precinct.

*Unacceptable materials:*

Any profiled sheet metal unless behind parapets to flat roofs.

Steel roof tiles.

Deep profiled fibre cement sheeting.

#### **2.7.6 Fascias, bargeboards and gutters**

Gutters are strongly discouraged and should be limited to specific containment such as over approaches or front doors. Where concentrated run off is created as a result of the use of rain water goods, this run off is to be addressed in the landscape design to be submitted to the AEC.

*Permissible materials:*

Fascias and bargeboards may be timber or fibre cement painted or stained in colours to be approved by the AEC.

Gutters and down pipes in UPVC or powder coated aluminium may be used in colours approved by the AEC and should be coloured to blend with structure to which they are fixed.

*Unacceptable materials:*

White coloured rain water goods in any material.

#### **2.7.7 Yards**

All yards (kitchen, drying, courtyards) should be plain to match main structure or accented with allowed materials (see 2.6.1).

Minimum height: 1.8m and maximum height: 2.1m above natural ground level.

#### **2.7.8 Aerials and solar panels**

The positioning of TV aerials and satellite dishes is subject to AEC approval.

Solar panels must be flush with the roof, and piping concealed, with no exposed HWC's.

#### **2.7.9 Air conditioners**

No through-window units will be permitted.

All air conditioner condensing units must be discreetly positioned or screened.

All trunking to be built in or concealed as best as possible.



Screening of condensers is encouraged by either physical slatted screens or planting where possible.

#### ***2.7.10 Canopies and awnings***

Will be accepted in canvas fabric.  
Colours: Brown, rust and cream only.

#### ***2.7.11 Services***

Plumbing pipes (water and sewerage): Prominent plumbing pipes (particularly from upper floors) will be concealed either within walls or ducts, or by an external screen.

#### ***2.7.12 Signage***

To conform to street furniture design per AEC specification.

#### ***2.7.13 External lighting***

Excessive external lighting is discouraged on the Estate.  
Light fittings on the exterior of houses must be chosen from the approved list of fittings provided by the AEC.  
Garden lighting is not to be higher than 900mm above ground and should rather be at ground level so as not to be invasive to neighbours.  
Halogen spot lights are not permitted.  
The effects of "light pollution" must be taken into account in both the quality and placement of external lights.

#### ***2.7.14 Walkways and hard landscape paving and patios***

##### *Permissible materials:*

Clay brick paving.  
Cobbles.  
White sea shell.  
Natural stone chip with solid edging.  
Grass blocks.  
Smart stone or equal.  
Ceramic, porcelain or natural stone on concrete surface bed.

#### ***2.7.15 Driveway paving***

To be either Corobrik or equal Rustic or Wheatstone up to kerb line.  
Parking / hard standing may be "gras beton" blocks.

#### ***2.7.16 Boundary walls and fences***

The use of these elements must be limited to enhance an open landscape and golf course environment.

##### Fences

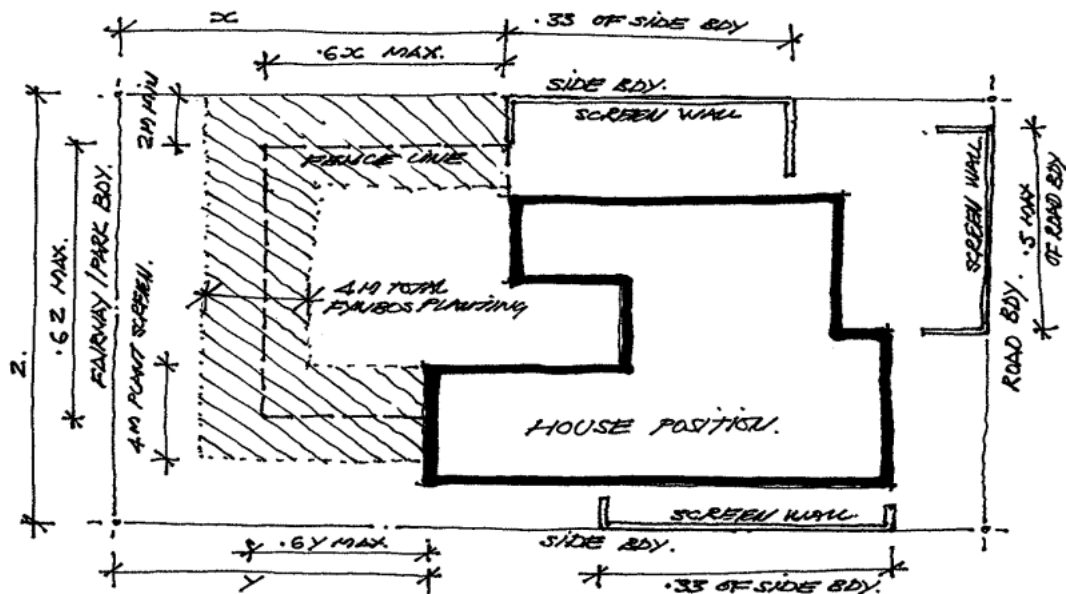
Are not encouraged but where fences on fairway or open space frontage are used, these may not exceed 1.1m in height and will be set back a minimum of 2m from any boundary other than road boundary.



The length parallel to any boundary may also not exceed 60% of the fairway or open space boundary and 60% of the distance from the house closest to that side boundary and the fairway / open space corner peg.

The fence on fairway or open space sides of houses will have a minimum width of 2m wide strip either side of such fence densely planted with fynbos so as to conceal the fence in the overall landscape.

All applications for the erecting of a fence will include a detailed landscape plan showing number and species of planting to achieve this screening. Only a 1.1m high fence on the road boundary will be allowed. Where solid screening is required, planted hedges are recommended. Any fence will be clearly indicated on the site plan.



## Walls

To be read in conjunction with LCE LGD.

The use of solid brick or accent feature walls will only be allowed on the street side to a maximum of 1.8m above natural ground level and no more than 50% of the frontage. No brick screen walls will be allowed on the fairway or open space boundary of plots. Side boundaries may have no more than 33% of their length as a 1.8 to 2.1m high wall.

Treated timber picket or steel palisade fencing, brown to match Estate perimeter, up to 1.1m will be allowed with or without brick piers. Under special conditions up to 1.5m in height to accommodate owners' existing pets. As an alternative to fencing or walls, planting as a screen element between properties is encouraged.

No pre-cast concrete walls will be allowed.



### ***2.7.17 Planting***

Planting and landscaping all as per LCE LGD.

### ***2.7.18 Swimming pools***

Will be acceptable and the position and design thereof will be as co-ordinated and prepared by the architects and approved by the AEC. Above ground pools such as 'portapools' or equal are not permitted if visible from neighbouring properties.

## **3. BUILDING PLANS AND APPROVAL PROCESS**

To be as follows:

All plans, together with the AEC scrutiny fee are to be submitted to the Building Compliance Officer (BCO) for delivery to the AEC.

Architects to table sketch plans in full or have consultation with AEC to scrutinise before preparation of drawings for costing.

### **Scrutiny fees:**

The following fees are applicable for plans submitted to the AEC:

- |                                    |   |
|------------------------------------|---|
| • Sketch plans                     | R 850 per house                             |
| • Costing / tender plans           | R 850 per house                             |
| • Municipal plans                  | R 3,500 per house                           |
| • Waiver applications              | R 500 per application                       |
| • Amendments to approved AEC plans | R 850 per application                       |
| • Consulting fees                  | R 1,100/hour with a minimum charge of R 550 |

All the above fees are net of VAT and to be adjusted annually on 1 March.

### **Copies to be submitted as follows:**

- Sketch plans: 2 hard copies (1 for return & 1 for AEC file)
- Costing / tender plans: 2 hard copies (1 for return & 1 for AEC file)
- Municipal plans: 5 hard copies (1 for return, 3 for local authority & 1 for AEC file)

### **All plans must be accompanied by:**

- Land surveyors height certificate
- Copy of the Client / Architect Agreement
- Scrutiny fees as above (cheque or proof of payment)
- All plans to be at 1:100 scale

### **Municipal plans to show the following:**

- Correct site cadastral layout with building lines clearly indicated
- The position of existing neighbouring houses and houses immediately across the street including yard walls, boundary walls and fences
- A roof plan of the dwelling, outside living areas and driveway access
- Site plan to show all services, kerb lines, driveways and hard landscaped areas and yard fence / wall lines



- Site areas, coverage calculations and hard and soft landscaping schedules
- Colour of roofs (as indicated by AEC), walls, windows, doors and brick paved areas as well as the extent and type of wall finishes
- Position and type of all external lights, position of TV aerials / antennae and satellite dishes, and all external air conditioning units / condensers
- Schedule of Finishes and Budgetary Allowances (SFBA) to be attached
- Sections to clearly indicate natural ground line and building heights to roof ridge. 6.5m max to single storey and 8.5m to double storey houses (all from average natural ground line)

#### Endorsements:

Do not deviate from or change any of the following as indicated on the approved plans:

- Colour and extent of external finishes and treatment that will affect aesthetics
- Design, style, size and configuration of all external doors and windows and gates
- No boundary wall to exceed 2.1m above natural ground level
- All plumbing pipes include vent pipes to be fully concealed
- Landscaping (hard and soft) to comply with LCE LGD

#### **4. ROLE OF THE HOME OWNERS' ASSOCIATION**

The role of the Langebaan Country Estate Owners' Association (LCEOA) is to, amongst other functions, regulate and control the development to the benefit and best interests of the community and to the satisfaction of the Local Authority with the assistance of the AEC. The LCEOA will not have the power to veto decisions made by the AEC with regard to these Architectural Guidelines.

#### **5. CHANGES TO AND MAINTENANCE OF BUILDINGS**

An owner or occupier of a property:

- Shall not, without the written permission of the AEC, alter the previously approved external colour scheme of buildings or structures erected on the Estate.
- Shall maintain in a neat and tidy condition and in a state of good repair all buildings or structures erected on the Estate.
- No structural alterations or additions may be undertaken on the Estate without approved drawings from the AEC and the Local Authority.