



LANGEBAAAN
COUNTRY ESTATE

Langebaan Country Estate

ARCHITECTURAL GUIDELINES FOR HOME OWNERS

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Langebaan Country Estate Aesthetic and Environmental Committee

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1. INTRODUCTION

Langebaan Country Estate is a unique golf and residential development within the magnificent 'West Coast' surroundings. This demands a 'design with nature' approach from all who value and cherish the privilege of owning a piece of this real estate.

The Consultants have been appointed by the Developer, to develop Architectural Guidelines and to guide the Langebaan Country Estate (LCE) aesthetics. Every building, structure, addition and alteration to be erected on the LCE shall be done in accordance with the Architectural Guidelines and shall be designed by a South African Council for the Architectural Profession (SACAP) registered professional.

This document is to be read in conjunction with the Langebaan Country Estate Landscape Guideline Document (LCE LGD).

No alterations to approved buildings and no deviations from Aesthetic and Environmental Committee (AEC) approved plans shall be effected without plans prepared by a SACAP registered professional, who shall at all times balance the LCE's and individual owner's requirements. Such plans must be approved by the AEC.

These Architectural Guidelines allow for individuality within a specific LCE character, which is to be achieved in harmony with the environment and are intended to inform owners of the controls to be applied to the development of the LCE as a whole.

The spirit of the Architectural Guidelines is not intended to restrict, but to enhance the coherence of the LCE and serve as a protective mechanism. In this regard, the impact of any one residential unit on its immediate surroundings and the overall LCE fabric will be of primary concern in the AEC's assessment of its individual merits and compliance with these guidelines.

The statutory setbacks, development densities and adjacent golf course ensure maintenance of the dominant natural landscape integrity. These requirements are in addition to the Local Authority's Town Planning and Building Regulations.

The AEC, as empowered by the Trustees of the Langebaan Country Estate Owners' Association (LCEOA) in terms of clause 31(a) of the LCEOA Constitution, reserves the right to make any additions or alterations to these guidelines which, in their opinion, are necessary to create and guide the LCE in the architectural style and character that is envisaged for the entire LCE, subject to council approval.

Approval granted by the AEC is for compliance with the Langebaan Country Estate Architectural Guidelines only and in no way removes from the owner and his/her professional the responsibility to be fully compliant with all statutory requirements from all relevant Authorities. AEC approval of plans is subject to final interpretation and approval of the plans in terms of the Guidelines and any other relevant requirements by the Local Authority.

Professionals are to give due and timeous consideration in the preparation of their plans to all aspects of design that will lead to energy efficiency and conservation.



1.1 Energy conservation and sustainability

- 1.1.1 Water heating shall be in terms of SANS10400.
Early consideration of solar panels will facilitate their incorporation and integration so as to minimise the visual impact from surrounding properties. Should solar collector panels be installed, they are to be positioned on the most appropriate roof slopes or concealed on flat slabs.
- 1.1.2 No external exposed Hot water Cylinders (HWC's) will be permitted. HWC's are to be mounted in roof spaces as close as possible to draw off points. Where possible the rationalisation of the reticulation should allow for the switching off of a supply to a sector if it is infrequently used.
- 1.1.3 The installation of a time switch or similar energy management device on the HWC electrical supply is recommended to conserve energy.
- 1.1.4 Geysers blankets of a proprietary brand and the lagging of hot water supply pipes are strongly recommended.
- 1.1.5 Energy efficient light bulbs (CFL's and LED's) are to be used wherever possible.
- 1.1.6 High energy consumption items such as under floor or under tile heating and air conditioning are strongly discouraged. Forms of thermal control in design are preferred and encouraged.
- 1.1.7 Water consumption is to be reduced by the introduction of dual flush cisterns and low flow showerheads.
- 1.1.8 Rain water collection in concealed tanks is encouraged on condition it discharges into an AEC approved irrigation system. In support of Sustainable Urban Drainage Systems (SUDS), recharge to be on site and not to the road.

2. ARCHITECTURAL GUIDELINES

The following aspects must be considered in the design and construction of houses:

2.1 Street articulation and site planning

Street and open space frontages must be considered so as to avoid a wall of buildings. This will enhance views and create more private areas around houses. Factors such as view, privacy and orientation for sufficient sunlight must be considered when placing structures on stands. Dominant wind and rain directions must be taken into account when placing and orientating houses. Consideration must be given to privacy when placing yard and entertainment areas. Suitable screening will be permitted to protect external private areas from neighbouring properties.

2.2 Building lines

All buildings are to be parallel to at least one of the major cadastral boundaries.

Street:

- 3m for dwelling units and garages
- 4.5m for garages with doors directly off road boundary along Van Breda & Vogelsanck Drives and Morsvalla Way
- 1.5m for garages if doors do not open onto road and additional off street parking is provided



Lateral, or side boundaries:

- 4.5m aggregate & a minimum of 1.5m to side for main building
- 0m or 1m building line for outbuildings with no overlooking features - maximum length of 10m, on one side boundary only

Rear onto open space and park areas:

- 3 meters

Outbuildings are defined as:

Outbuilding means a structure either attached to or separate from the main unit and designed to be normally used for the parking of motor vehicles and for storage purposes, in so far as these uses are usually and reasonably required in connection with the main structure.

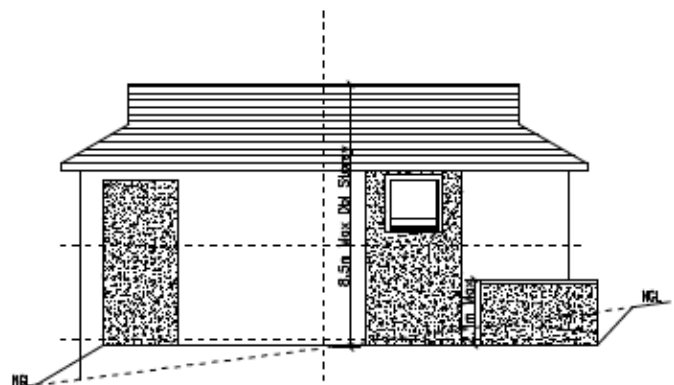
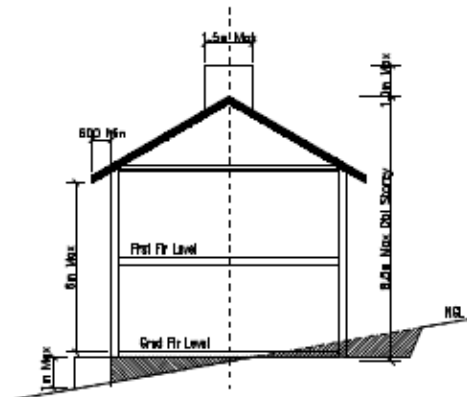
No wooden or steel “wendy houses” are allowed.

2.3 Building height

2.3.1 Double storey stands

The maximum building height is 8.5m for double storey designated erven, measured from the average natural ground level taken over the length of a specific building block or elevation to the height of the roof ridge measured vertically above this point.

In an effort to break roof lines and reduce the total length of shear double storey walls, the 1st floor area excluding uncovered decks, is encouraged not to exceed 80% of the total ground floor area of the house, where such area on the ground floor will include covered but not open patios.



2.3.2 Single storey stands

The standard maximum height for single storey designated erven should be 4.8m measured from the average natural ground level taken over the length of a specific building block or elevation to the height of the roof ridge measured vertically above this point.



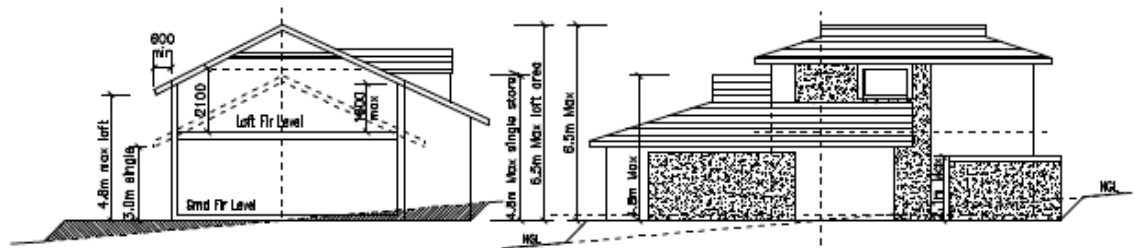
Consent use

Application may be made for consent use permitting:

Loft or room in the roof space or double volume components comprising no more than 30% of the total floor area created by the utilisation of an extent of roof space on such erven where the maximum height is allowed as 6.5m when measured as per above.

The maximum wall plate level of the perimeter roof support structure in the loft area is to be 1.6m above first floor level. The total floor area inside of the 1.6m height will not exceed 30% of the total floor area of the dwelling with the added provision that the total floor area inside of the 2.1m height will not exceed 25% of the total floor area of the dwelling. Positioning of openings such as doors and windows or dormer windows must always take into account the intention that this upper space is to read primarily as a loft or room in the roof.

Neither open patios on the ground floor nor open decks at 1st floor will contribute in this calculation. Vertical walls over 2 storeys will only be considered at gable-end conditions to enhance the loft appearance as compared with standard double storey dwellings. The location and alignment of loft space or double volume components must take into account the fact that single storey erven were designated as such to maintain and not encroach on view lines from surrounding properties and primarily properties behind or above such stands. These aspects will be considered by the AEC in evaluating the granting of a consent use for a loft.



2.4 Building areas and coverage / site usage

Minimum building area:

- 175m² minimum, including garages, covered patios and outbuildings - excludes open patios

Coverage percentages of areas:

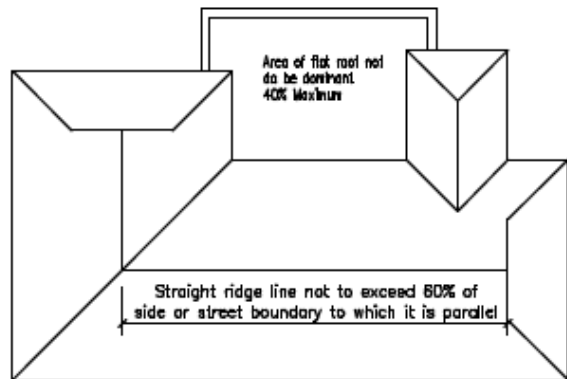
- House footprint: maximum 50%
- Hard-landscaping: maximum 20%
- Lawn area: maximum 30%
- Natural vegetation: minimum 20%

2.5 Plan forms

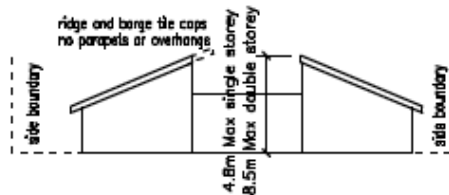
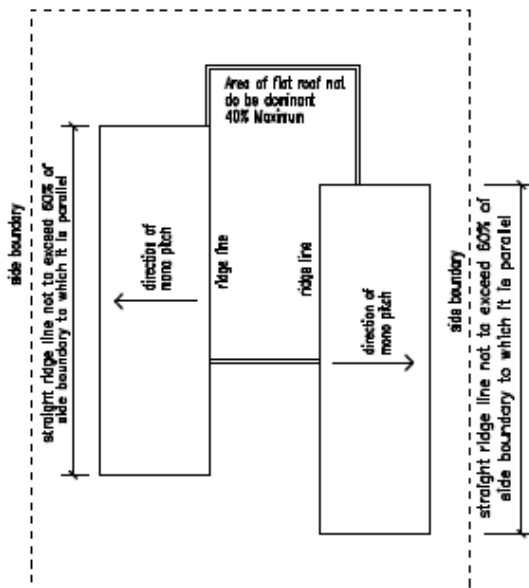
Fragmented plan forms will enhance view and orientation opportunities whilst giving visual form and scale. The general massing of houses and their roof forms should at all times endeavour to respect the effect on views from neighbouring stands.



SIMPLE FORMS NOT PERMITTED



FRAGMENTED FORMS ENCOURAGED



2.6 Levels

The floor levels of houses should follow the shape of the landscape to avoid excessively high foundations. Buildings will 'sit in the landscape' and not 'on top of the landscape'. The forming of platforms is not encouraged and no patio or deck should be higher than 1m above the natural ground adjacent to such deck / patio, unless approved by the AEC with mitigating measures.





2.7 Building structures

2.7.1 External walls

Large expanses of unbroken external walling should be avoided. In utilizing a fragmented plan, care should be taken with regard to scale and proportion of every facade. Wall planes should be broken up by the creation of textured and plain facade panels.

Permissible materials:

Painted walls which may be plastered, bagged brickwork or off-shutter concrete will make up the bulk of any structure. All exterior paint will be of a quality and applied by the contractor to a standard such that the paint manufacturer will issue a minimum of a 7-year product warranty. The Building Compliance Officer (BCO) will require such paint manufacturer's warranty to be issued prior to the issuing of the BCO's Clearance Certificate.

Stone work, fibre cement or timber building planks as approved by the AEC may be used in combination with the painted walls as accents or features, but not on their own

Textural changes in wall surfaces are to be encouraged.

Permissible colours:

All finished colours are to be natural earth tone colours as approved by the AEC. A colour pallet is available from the BCO office. Clients may submit alternative complimentary colours for approval by the AEC at an additional fee, with 500 x 500 sample panels painted on a sun exposed wall for approval. No computer rendered colours are to be submitted for approval.

Unacceptable materials:

Timber log houses.

Cement and clay face bricks.

Precast concrete garages and outbuildings.

2.7.2 Windows

Windows should be carefully positioned in every facade to obtain the best possible proportion and room utilisation.

Windows and doors should compliment each other in design and proportion.

Where large windows in double storey units are arranged vertically above each other on ground and 1st floors, a break by roof overhang or similar treatment is encouraged to reduce the 2 dimensional flatness of the facade.

No reflective glass may be used in any glazed opening and all drapes or blinds are encouraged to compliment the overall aesthetics as viewed from the outside.

Permissible materials:

Timber (varnished or painted)

UPVC.

Aluminium (epoxy, anodized or powder coated).



Permissible colours:

Natural wood stained or painted to AEC approval.

Aluminium (epoxy, anodized or powder coated) in brown/bronze, charcoal, matt stone grey, mat ash grey or white as approved by the AEC.

Unacceptable materials:

Steel window frames.

Pre-cast concrete window surrounds.

2.7.3 Doors

External doors

Permissible materials:

All timber or timber and glass (varnished or painted).

UPVC.

All aluminium or aluminium and glass (epoxy, anodized or powder coated).

Frameless safety glass.

Permissible colours:

Natural wood stained or painted to AEC approval.

Aluminium (epoxy, anodized or powder coated) in brown/bronze, charcoal, matt stone grey, matt ash grey or white as approved by the AEC.

Unacceptable materials:

Untreated and unpainted galvanised steel.

Garage doors

Permissible materials:

Natural wood (varnished or painted).

Aluminium (epoxy, anodized or powder coated) or zinc aluminium or galvanised steel (epoxy or powder coated).

Permissible colours:

Natural wood stained or painted to AEC approval.

Aluminium (epoxy, anodized or powder coated) or zinc aluminium or galvanised steel (epoxy or powder coated) - brown/bronze, charcoal, matt stone grey, matt ash grey or white as approved by the AEC.

Permissible patterns:

Horizontal, vertical or diagonal boarded planking pattern.

Unacceptable materials:

Untreated and unpainted galvanised steel.

Yard gates

Permissible materials:

Timber solid or slatted (varnished or painted).

Aluminium (epoxy, anodized or powder coated).



Permissible colours:

Timber solid or slatted, stained or painted to AEC approval.
Aluminium (epoxy, anodized or powder coated) in brown/bronze, charcoal, matt stone grey, matt ash grey or white as approved by the AEC.

Unacceptable materials:

Untreated and unpainted galvanised steel.

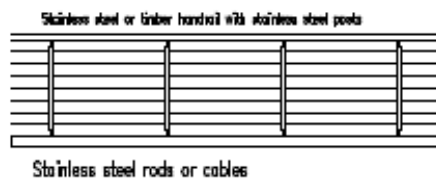
2.7.4 Balconies and terraces

The use of timber decks is strongly encouraged on stands where the rising wall to the lower side of a ground floor deck exceeds the 1m range above natural ground level. This will reduce high foundation retaining walls and have less impact on the landscape.

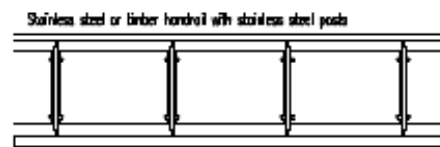
Permissible materials and designs:

Frameless safety glass.

Balustrades will be simple decorative designs in timber, stainless steel or aluminium all with or without glazing (see diagram).



Stainless steel rods or cables



Safety glass fixed between stainless steel uprights or installed frameless and butt jointed in pot channel



Stainless steel or aluminium rods with matching posts



Stainless steel, aluminium or timber verticals @125mm centres

Unacceptable materials and designs:

‘Victorian’ type balustrading in any material.

Pre-cast concrete balustrades.

Round timber poles.

2.7.5 Roofs

Roofs with pitch ranging from 17.5 to 45 degrees may be used bearing in mind the height restrictions. Facia and gutter lines will be allowed at maximum 6m measured from ground floor to underside of fascia for double storey units, 3m for single storey units and 4.8m for lofts. Flat roofs may be utilised only to link roofs where necessary, or for sundecks, or as a feature, but must never become the dominant form of the roof and may not exceed 40% of the total roofed space.

Where flat roofs are used, inclusive of garages and outbuildings, and they collect greater than 25% of the gross roof area run off, they must discharge into an AEC approved irrigation system.



Roofs on garages and outbuildings may be 'flat' with the provision that they are concealed behind a parapet wall on three sides to blend in with the overall architecture. Such roofing to be painted out to match the wall or major roof colour or be covered in Malmesbury granite gravel if concrete.

Gable ended roof forms either mono pitch or double pitched are not encouraged as they limit the degree to which properties behind are able to view between and over buildings in front (refer to 2.5). The length of such high ridge lines should not exceed 60% of the boundary with which they are parallel.

The extent and alignment of such gable ends and mono pitches will be evaluated on their overall impact on surrounding units in each and every case.

Headwall parapets and overhang on ridgelines are not permitted and barge roll tiles on wall lines must be used for mono pitches to reduce the height. All sloping roofs must slope down towards the closest erf boundary which reduces the blank high wall effect on neighbours.

Roof eaves overhang will not be less than 600mm for pitched roofs.

Permissible materials:

Roofs:

Lafarge Taunus or similar profile as approved by AEC in each precinct. The colour allocation is available from the BCO's office and will be confirmed on AEC approval.

Flat roofs:

Profile sheet metal painted to match the wall or major roof colour.

Clear polly carbonate concealed on three sides.

Concrete flat roofs to be painted out to match the wall or major roof colour or be covered in Malmesbury granite gravel if concrete.

2.7.6 Pillars

Pillars are required to be slender and post-like and in proportion to the structure they are intended to support.

Squat or buttressed shape pillars are therefore not permitted.

2.7.7 Fascias, bargeboards and gutters

Gutters are strongly discouraged unless they form part of an AEC approved irrigation system. Where concentrated run off is created and not discharged into an AEC approved irrigation system, as a result of the use of rain water goods, this run off is to be contained on site as far as possible and addressed in the stormwater plan submitted for AEC approval as well as the landscape design to be submitted for approval by the AEC.

Permissible materials:

Fascias and bargeboards may be timber or fibre cement painted in colours to be approved by the AEC. All exterior paint will be of a quality and applied by the Contractor to a standard such that the paint manufacturer will issue a minimum of a 7-year product warranty. The BCO will require such manufacturer's warranty to be issued prior to the issuing of the BCO's Clearance Certificate.

Gutters and down pipes in UPVC or powder coated aluminium may be used in limited applications as above.



Permissible colours:

All finished colours for fascias, bargeboards and downpipes are to be natural earth tone colours to match the adjacent wall and as approved by the AEC .
Gutter colours by AEC approval.

2.7.8 Yards walls

All yards (kitchen, drying, courtyards) should be plain to match main structure or accented with allowed materials (see 2.7.1).
Minimum height of 1.8m and maximum height of 2.1m above natural ground level.
Plastered walls are to be textured with a 170mm smooth capping. Refer to 2.7.22 for extent.

2.7.9 Solar and PV panels

Solar and PV panels must be flush with the roof, and piping concealed, with no exposed HWC's.
Positioning to be on most appropriate roof slopes or concealed on flat slabs.

2.7.10 Air conditioners and heat pumps

No through-window air conditioner units will be permitted.
No air conditioner condensing units or heat pumps may be mounted with its top line above 1.2m AFFL, or on the roof, and must be discreetly positioned and screened.
All trunking to be built in and concealed.
Retro fitted units' trunking to be painted to match the wall colour.
Physical screening of air conditioner condensers and heat pumps by slatted screens is mandatory, and additional screen planting is encouraged.
All screening to be erected with vertical posts and cross rails facing in. Screening plans to be submitted for approval by the AEC.

2.7.11 Generators

Portable and installed generators must be positioned inside the building footprint to minimise the noise to neighbours.

2.7.12 Aerials and satellite dishes

The positioning of TV aerials and satellite dishes must always wherever possible be positioned below the roof line with the least visual impact on surrounding properties.

2.7.13 Alarms

All new houses to be fitted with an alarm system to at least the minimum specification as per the LCE Alarm Systems Regulations.

2.7.14 Bird reflectors

No bird reflectors are allowed.

2.7.15 Canopies, awnings and dropdown blinds

Will be accepted in canvas fabric.
Colours: natural earth tones to compliment the house colour and may have transparent panels where required.



2.7.16 Street numbering

To conform to design per AEC specification as available at the BCO office.

2.7.17 Post boxes

Strictly as per AEC approved specification only, fixed to the dwelling.

2.7.18 Services

Plumbing pipes (water and sewerage) must be concealed either within walls or ducts, or by an external screen.

Exposed roof solar panel pipes (including for pool heating) must be painted out in the matching wall colour.

2.7.19 External lighting

Excessive external lighting is discouraged on the LCE. Light fittings on the exterior of houses must be chosen from the approved list of fittings provided by the AEC. A brochure of these fittings is available at the BCO's office.

Garden lighting is not to be higher than 900mm above ground and should rather be at ground level so as not to be invasive to neighbours.

Raised spot lights are only permitted as an integral part of a security system.

The effects of "light pollution" must be taken into account in both the quality and placement of external lights.

2.7.20 Walkways and hard landscape paving and patios

Permissible materials:

Clay brick paving.

Cobbles.

White sea shell or natural stone chip, with or without solid edging.

Grass blocks.

Smart stone or equal.

Ceramic, porcelain or natural stone on concrete surface bed.

Wood.

Unacceptable materials:

Bitumen / tar.

In-situ concrete.

2.7.21 Driveway paving

To be either Corobrik or equal paving brick in Rustic and/or Wheatstone or Meadow and/or Cape Stormberg, and it is recommended to have a contrasting border colour up to kerb line. Colours per AEC approval.

Parking or hard standing must be as above or may be Duraturf or equivalent as approved by the AEC.

The interface between the driveway and the carriage way is to be splayed or radiused so as to limit the erosion of the sidewalk by vehicles either entering or exiting the property. The edging along the lower side of a driveway with a cross fall is required to be canted inwards so as to ensure that any rainwater run-off is discharged onto and not behind the carriage way.



2.7.22 Boundary & screen walls and fences

The use of these elements must be limited to preserve an open landscape and golf course environment.

All applications for the erecting of a fence or wall will include a detailed landscape plan showing number and species of planting to achieve this screening. Any screening will be evaluated on its merits. Any fence or wall will be clearly indicated on the site plan.

As an alternative to fencing or walls, planting as a screen element between properties is encouraged.

Fences

Fences may not exceed 1.2m in height.

Fences are not encouraged but where fences on open space frontage are used, it will be set back a minimum of 2m from any boundary unless otherwise approved by the AEC.

The length parallel to the open space boundary may not exceed 60% and 40% of any other joining boundary other than the road boundary.

The fence on open space sides of houses will have a minimum width of 2m wide strip on the outside of such fence, densely planted with fynbos so as to conceal the fence in the overall landscape.

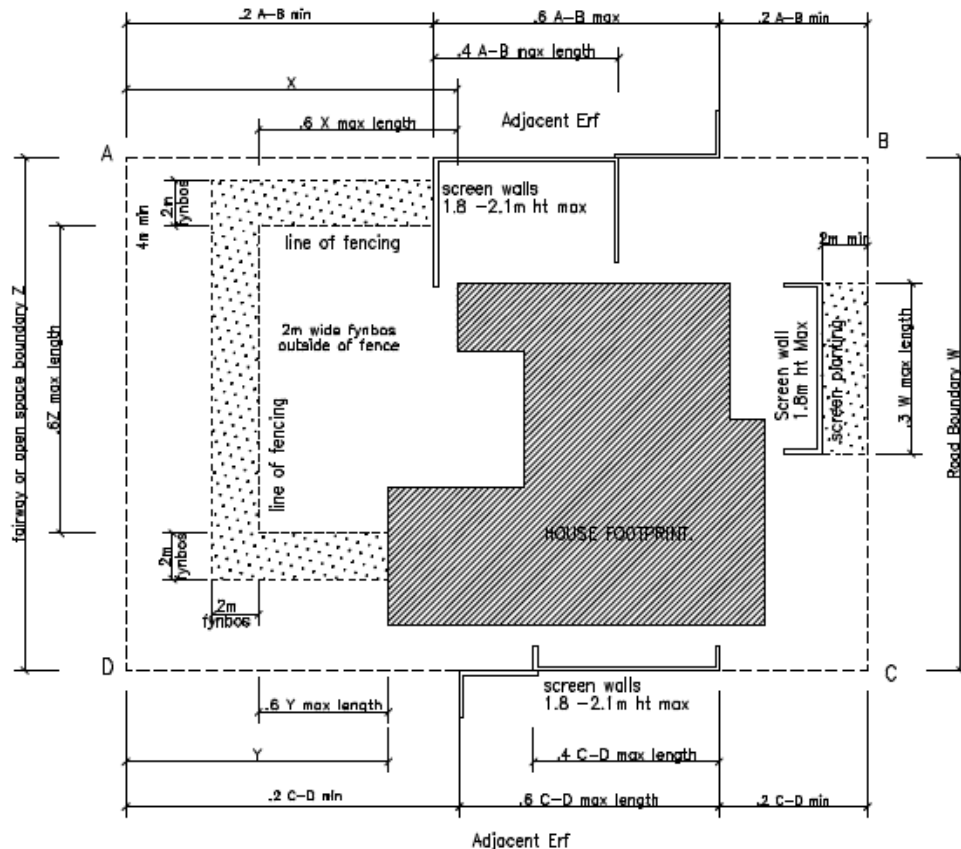
All fences to be erected with vertical posts and cross rails facing in.

Permissible materials:

Treated timber picket.

Wattle latte, with a minimum spacing of 100 center to center.

Clear vu or equivalent with colour as approved by the AEC.



Walls

The use of solid brick and accent feature walls will only be allowed under the following conditions:

Street boundary:

- No more than 30% of frontage
- Maximum height of 1.8m
- Minimum 2m set back from street boundary with screen planting to AEC approval between wall and boundary line

Common side boundary:

- No more than 40% of their length as a 1.8m to 2.1m high wall individually and 60% accumulated total
- All walls on side boundaries to be set back a minimum of 20% of the boundary length from the road boundary and open space boundary

Open space boundary:

- Not encouraged unless specifically motivated and approved by the AEC

No pre-cast concrete walls will be allowed.

Where solid screening is required, planted hedges are recommended.



2.7.23 Planting

Planting and landscaping all as per LCE LGD.

2.7.24 Swimming pools

Are acceptable and the position and design thereof will be as approved by the AEC. Above ground pools such as 'portapools' are not permitted if visible from neighbouring properties.

Pool safety measures and drainage requirements are to comply with all statutory requirements and the AEC assumes no liability for such safety in approving a position for a pool. Such drainage connection to be indicated on site plans.

All pool plans are to be submitted to the Local Authority for formal approval.

2.7.25 Chimneys and cowls

All chimneys and cowls to be shown and described on plans for AEC approval. No chimney pots allowed.

Where the chimney structure exceeds the ridgeline, the chimney structure may not exceed 1,5m in width above the ridgeline.

The chimney may not exceed 1m of the ridgeline viewed from any boundary.

On any one elevation, the accumulated width may not exceed 2,4m in total.

2.7.26 External braai's and fireplaces

All external built-in braai's must have full covers. No open external fireplaces, fire pits or braai's are allowed.

3. BUILDING PLANS AND APPROVAL PROCESS

AEC submission

All plans, together with the AEC scrutiny fee are to be submitted to the Building Compliance Officer (BCO) for delivery to the AEC.

It is suggested that professionals table sketch plans in full or have consultations with the AEC architect to scrutinise at least the first two designs by new professionals before preparation of final drawings.

Scrutiny fees

The schedule of scrutiny fees (excluding VAT) for every submission of plans to the AEC is indicated in the LCE AEC Requirements document. These fees are as specified from time to time by the AEC as required by clause 31(c)(iv) of the LCEOA Constitution.

Note that any amendment to the appearance, footprint or external envelope of a dwelling will require AEC approval.

4. FINAL APPROVAL

The Local Authority will not scrutinise or approve any plans for buildings on the Langebaan Country Estate, without the AEC "approved" stamp on it in terms of clause 31(d) of the LCEOA Constitution approved by the Local Authority.



5. ROLE OF THE HOME OWNERS' ASSOCIATION

The role of the Langebaan Country Estate Owners' Association (LCEOA) is to, amongst other functions, regulate and control the development to the benefit and best interests of the community and to the satisfaction of the Local Authority with the assistance of the AEC. The LCEOA will not have the power to veto decisions made by the AEC with regard to these Architectural Guidelines.

6. CHANGES TO AND MAINTENANCE OF BUILDINGS

An owner or occupier of a property:

- Shall not, without the written permission of the AEC, alter the previously approved external colour scheme of buildings or structures erected on the LCE;
- Shall not make structural alterations or additions without approved drawings from the AEC and the Local Authority.